

RODE

ARCHITECTS INC

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STRUCTURAL
TLH CONSULTING, LLC
505 Middlesex Turnpike, #14
Billerica, MA 01821
978.362.1804
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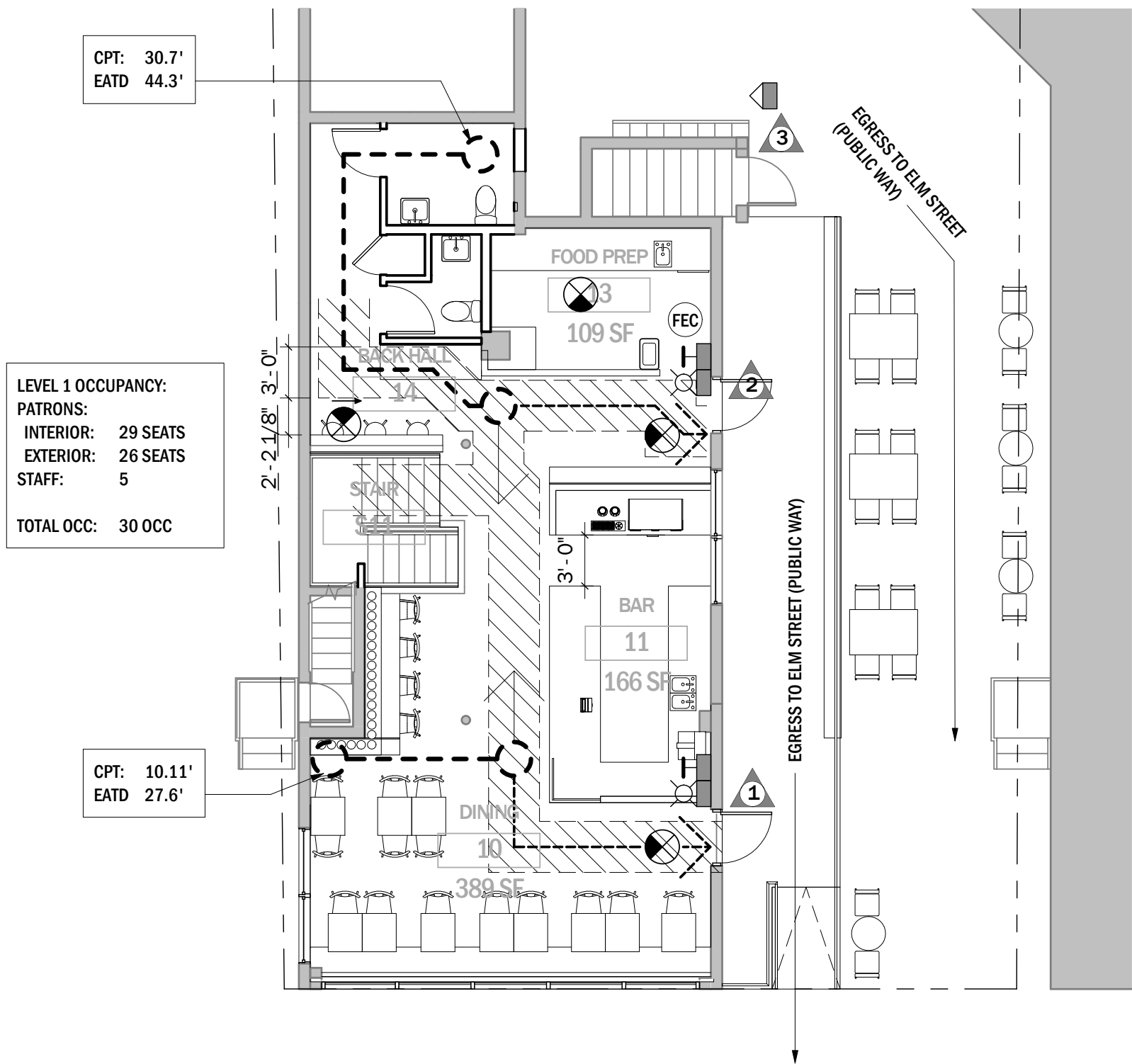
OWNER
NOOKIE & SONS
25 Hubbard Ave #2
Cambridge, MA 02140

PERMIT SUBMISSION

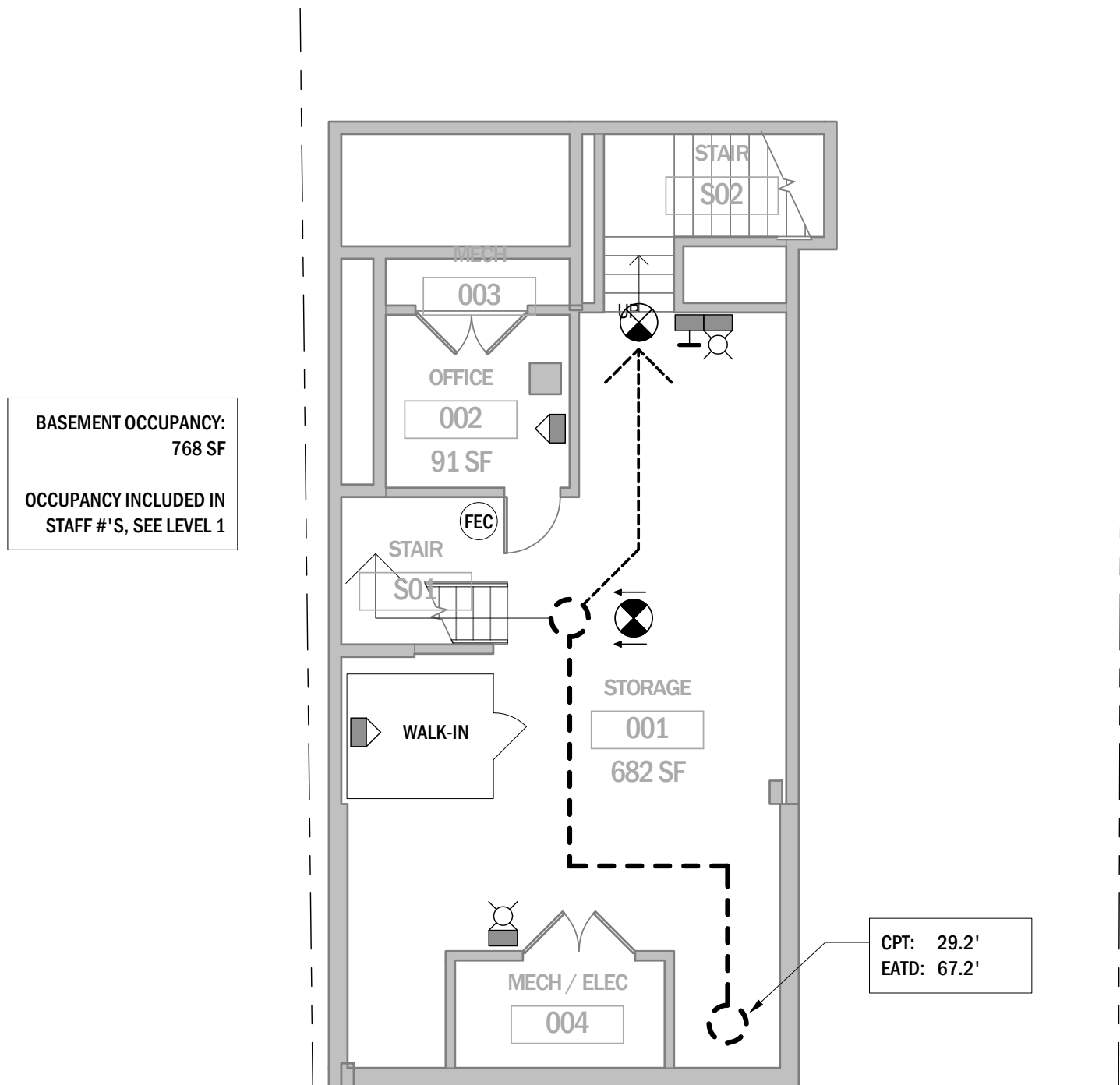
REVIVAL CAFE
197 ELM STREET
SOMERVILLE, MA 02144

11/30/2017

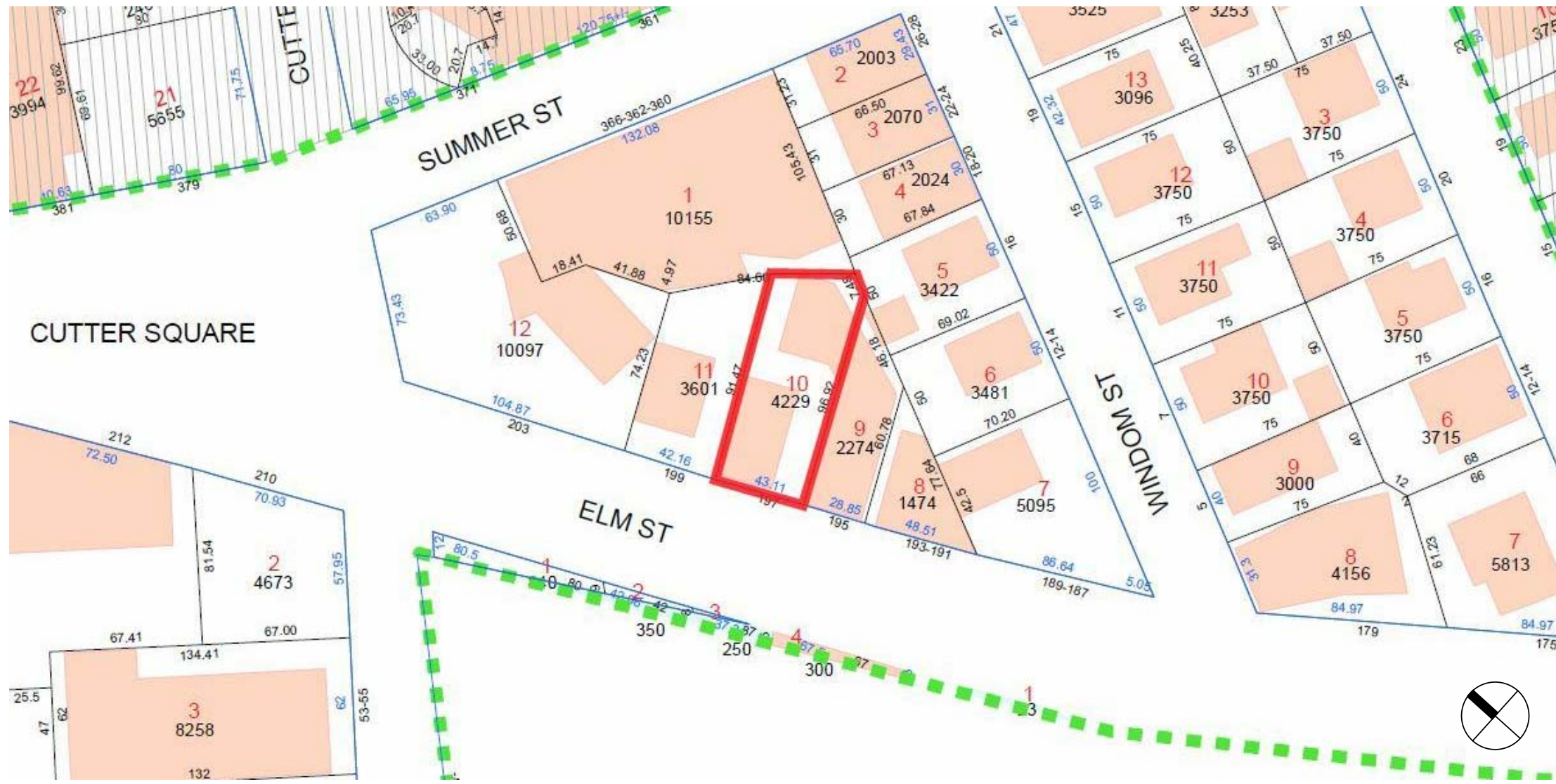




2 LIFE SAFETY LEVEL 1
1/8" = 1'-0"



1 LIFE SAFETY BASEMENT
1/8" = 1'-0"



EGRESS CALCULATIONS & OCCUPANCY LOADS

| OCCUPANCY | ## OCCUPANTS |
|------------------|--------------|
| RESTAURANT | 5 |
| STAFF | 29 |
| PATRONS | 29 |
| TOTAL INTERIOR | |
| 34 OCC | |
| EXTERIOR SEATING | 26 |
| RESTAURANT TOTAL | 60 OCC |

EGRESS COMPONENTS EXIT CAPACITY

| BUILDING EXITS | SIZE | CAPACITY | OCC SERVED |
|----------------|----------|----------|------------|
| EXIT 1 | 36" DOOR | 170 | 20 |
| EXIT 2 | 36" DOOR | 170 | 12 |
| EXIT 3 | 36" DOOR | 170 | 2 |

| EGRESS COMPONENTS | SIZE | CAPACITY | OCC SERVED |
|-------------------|-----------|----------|------------|
| STAIR 01 | 44" STAIR | 146 | 3 |
| STAIR 02 | 34" DOOR | 170 | 2 |
| | 44" STAIR | 146 | 2 |

RESTROOM FIXTURE CALCULATIONS

| PROPOSED OCCUPANCY | # OCC | 248 CMR CLASSIFICATION |
|--------------------|-------|------------------------|
| RESTAURANT | 60 | A-2 |

FIXTURE CALCULATIONS

| REQ'D PER 248 CMR: | # TOILETS | # SINKS |
|--------------------|----------------|------------------|
| MEN | @ 1 : 60 = 0.5 | @ 1 : 200 = 0.15 |
| WOMEN | @ 1 : 30 = 1.0 | @ 1 : 200 = 0.15 |

| PROVIDED: | # TOILETS | # SINKS |
|-----------|-----------|---------|
| MEN | 1* | 1 |
| WOMEN | 1* | 1 |

* EACH OF TWO UNISEX RESTROOMS ATTRIBUTED ONCE TO "PROVIDED" FIXTURE COUNTS
** ONE ACCESSIBLE RESTROOM IS ACCEPTABLE PER A PRELIMINARY DISCUSSION WITH THE PLUMBING INSPECTOR

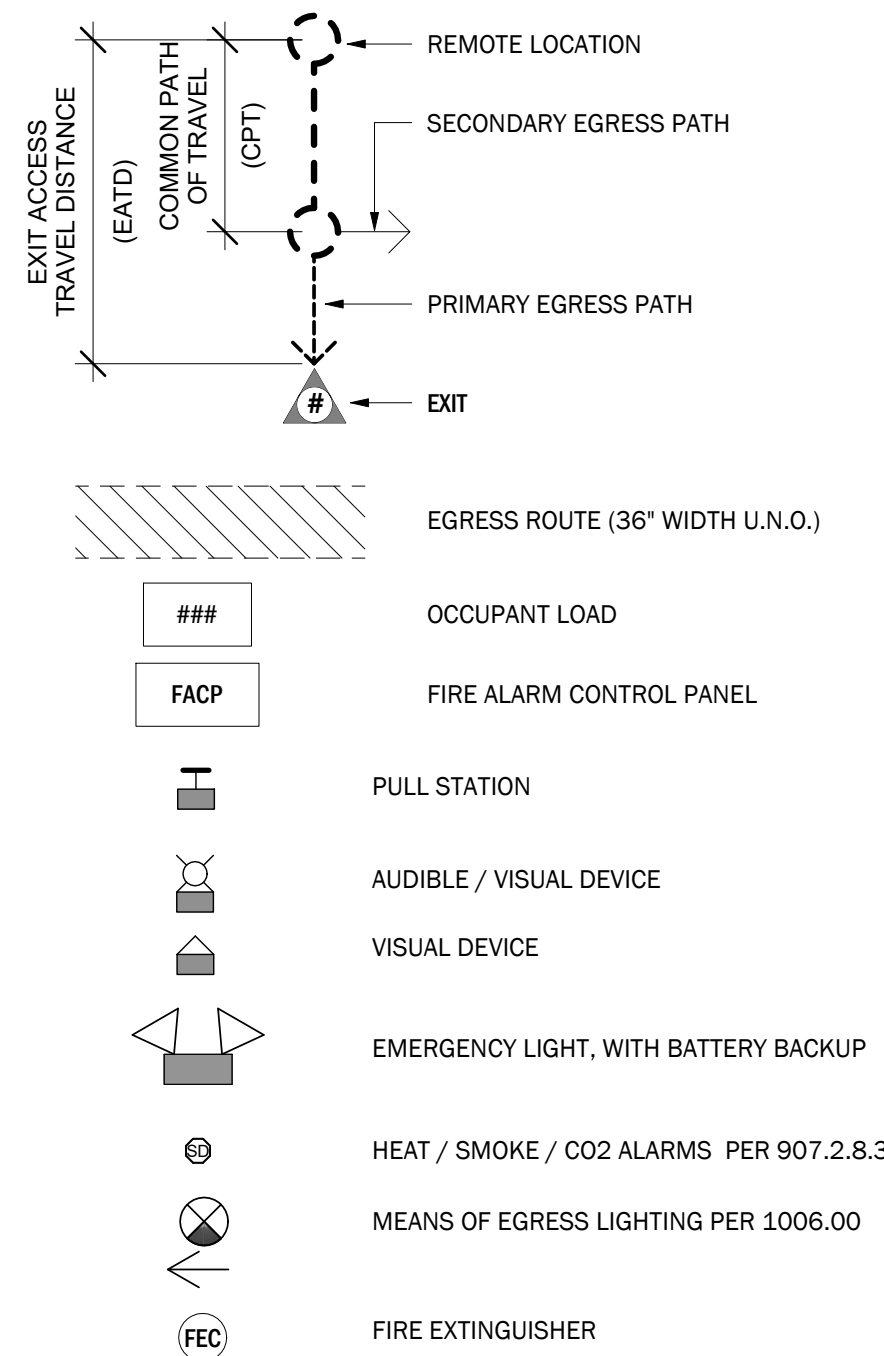
FIRE ALARM GENERAL REQUIREMENTS

THE FOLLOWING FIRE PROTECTION SYSTEMS ARE CURRENTLY PROVIDED:

1. AUTOMATIC SPRINKLER SYSTEM
2. FIRE ALARM SYSTEM
3. FIRE EXTINGUISHERS

- ALL ALARM NOTIFICATION COMPONENTS TO BE CONNECTED TO INDICATOR AND TAMPER SWITCHES.
- ALL ALARM AND NOTIFICATION SYSTEM DRAWINGS TO BE DESIGN BUILD AND SUBMITTED VIA SEPARATE PERMIT. LOCATIONS SHOWN ONLY FOR INFORMATION.

LIFE SAFETY LEGEND



197 ELM STREET - NEIGHBORHOOD BUSINESS (NB) DISTRICT

USE REGULATIONS

SPECIAL PERMIT RESTAURANT WITH OUTDOOR OPERATIONS (SECTION 7.11 - USE 10.1.2.a)

DIMENSIONAL REGULATIONS

| | ZONING | LOT SIZE | | | | BUILDING MASSING | | SETBACKS (ft) | | | PARKING | | LOADING |
|--|----------|---|--------------|---------------|------------------------|--------------------|-----------------------|---------------|--|------|---|---|---------|
| | | Area (sf) | Coverage (%) | Frontage (ft) | Landscaped Area (%) | FAR | HEIGHT (stories / ft) | FRONT | REAR | SIDE | | | |
| | | 875 SF / UNIT | 80 | NONE | 10 | 2.0 | 3 / 40 ⁽¹⁾ | NONE | 12 ⁽²⁾ | NONE | Restaurant: 1 / 110 GSF | Resid.: 0 bays Rest. < 4,000SF: 0 bays | |
| | PROPOSED | Existing = approx 4090 sf Proposed = no change | approx 55 % | -- | 10% min (no change) | 1.3 (5,232 GSF) | 3 / 23 | -- | 2.25' (no change: existing non-conforming) | -- | Req'd = 21 SPACES (2273 GSF Restaurant) Prop'd = 0 SPACES | 0 | |

FOOTNOTES

- (1) Foot note 1
(2) Rear Yard for Lots abutting Residential District (section 8.6 footnote 12)

DASHED BOX INDICATES SPECIAL PERMIT LIKELY REQUIRED

BUILDING CODE SUMMARY

PROJECT ADDRESS:
197 ELM STREET
SOMERVILLE, MA 02144

DESCRIPTION:
THE PROJECT IS COMPRISED OF THE INTERIOR RENOVATION OF THE EXISTING RETAIL / RESTAURANT TENANT SPACE ON THE FIRST LEVEL (GRADE) + BASEMENT LEVEL, FOR USE BY A NEW RESTAURANT TENANT. THE EXISTING RESIDENTIAL UNIT ON THE SECOND LEVEL WILL REMAIN, AND IS NOT PART OF THIS PROJECT SCOPE.

USING THE WORK AREA METHOD FOR RENOVATIONS TO EXISTING BUILDINGS (IEBC), THIS IS A "LEVEL 3" PROJECT.

APPLICABLE CODES:
780 CMR - MA BUILDING CODE, 8TH ED.
(2009 IBC, AMENDED; 2009 IEBC, AMENDED)
2009 IECC ENERGY CODE
2009 INTERNATIONAL MECHANICAL CODE
248 CMR - MA UNIFORM PLUMBING CODE
527 CMR - MA FIRE PREVENTION REGULATIONS
521 CMR - MA ARCHITECTURAL ACCESS BOARD (MAAB) AND THE AMERICANS WITH DISABILITIES ACT GUIDELINES

OCCUPANCY USE GROUP

EXISTING: B A-2 RESTAURANT W/ < 50 OCC

PROPOSED: B A-2 RESTAURANT W/ < 50 OCC

CONSTRUCTION TYPE

EXISTING: 5B

PROPOSED: 5B (NO CHANGE)

HEIGHT & AREA

EXISTING: 2 STORIES, APPROX. 23'

PROPOSED: NO CHANGE

BUILDING GSF

| LEVEL | AREA (GSF) | USE |
|-----------|------------|--------------------|
| BASEMENT | 1061 SF | RESTAURANT STORAGE |
| LEVEL 1 | 1210 SF | RESTAURANT |
| LEVEL 2 | 814 SF | RESIDENTIAL |
| TOTAL GSF | 3084 SF | |

MEANS OF EGRESS

NUMBER OF EXITS:

| | REQUIRED | PROVIDED |
|----------|----------|----------|
| BASEMENT | 1 EXITS | 2 EXITS |
| LEVEL 1 | 2 EXITS | 2 EXITS |

EXIT ACCESS TRAVEL DISTANCE (EATD):

| | MAXIMUM | PROVIDED |
|-----|---------|----------|
| A-2 | 250' | 106.8' |

COMMON PATH OF TRAVEL (CPT):

| | MAXIMUM | PROVIDED |
|-----|---------|----------|
| A-2 | 30' | 28.9' |

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PROJECT: 1629

| No. | Description | Date |
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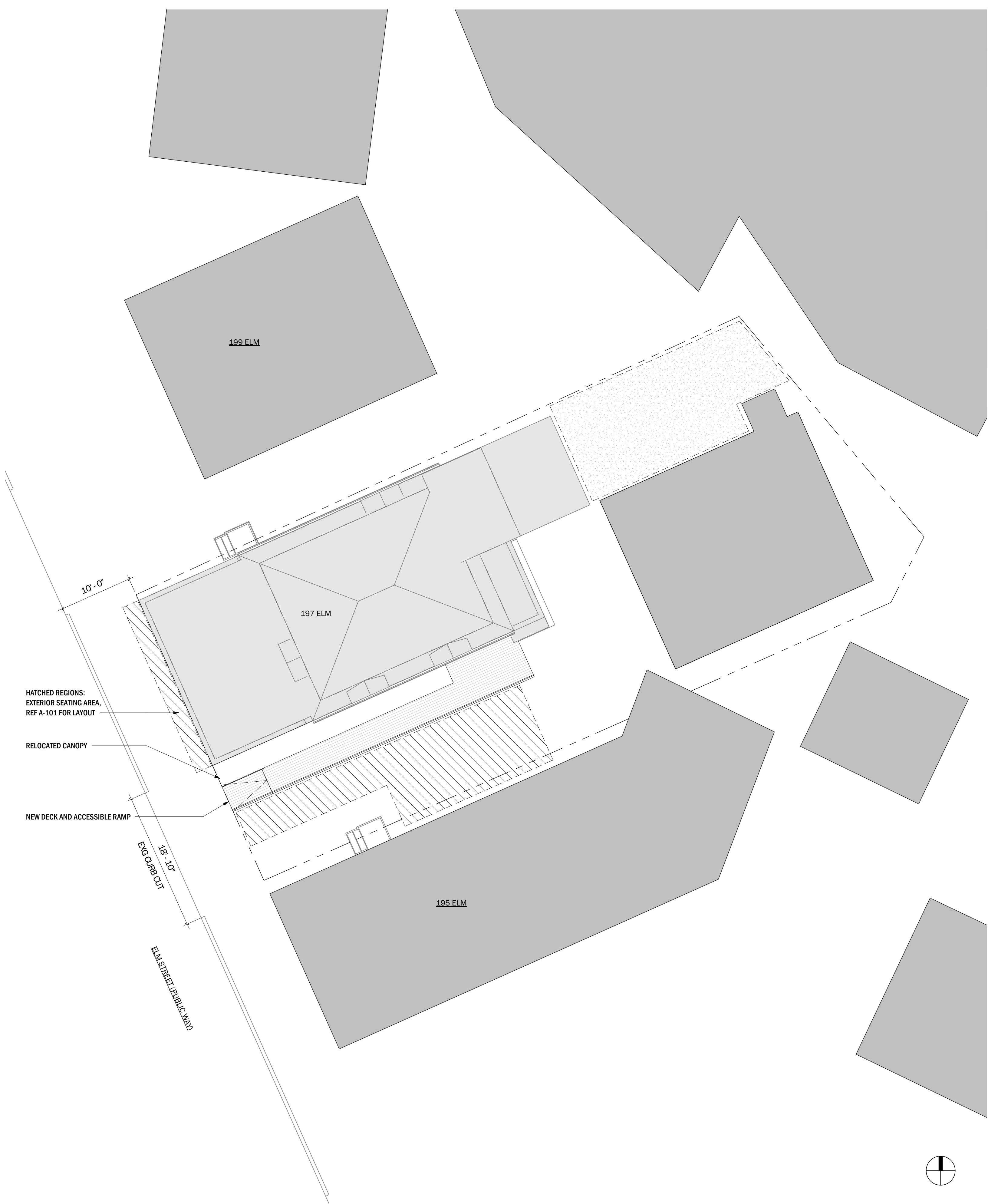
DATE: NOV 30, 2017

SCALE: 1/8" = 1'-0"

ZONING & BUILDING CODE ANALYSIS

G-002

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1 ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

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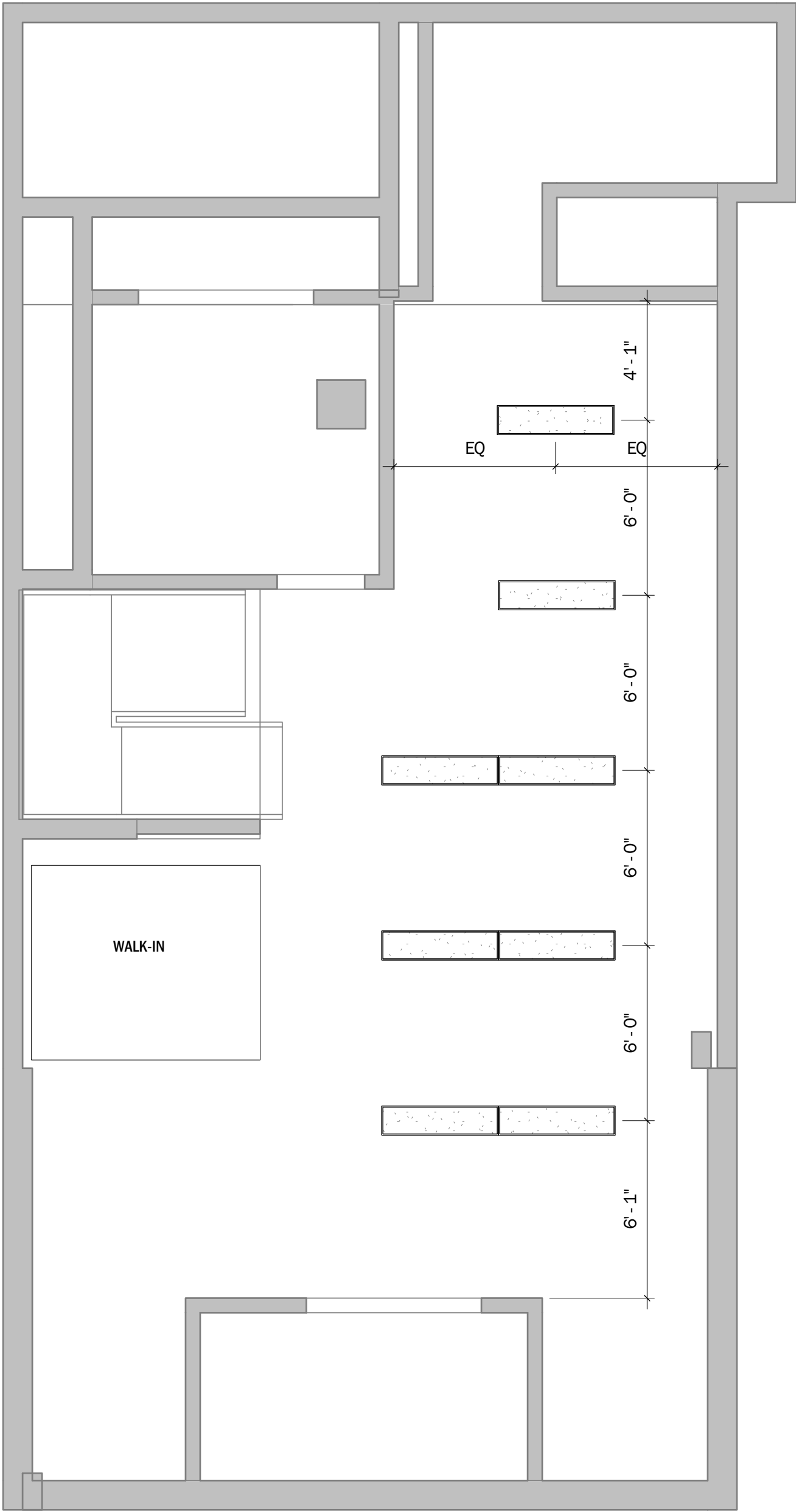
SCALE: 1/8" = 1'-0"

SITE PLAN

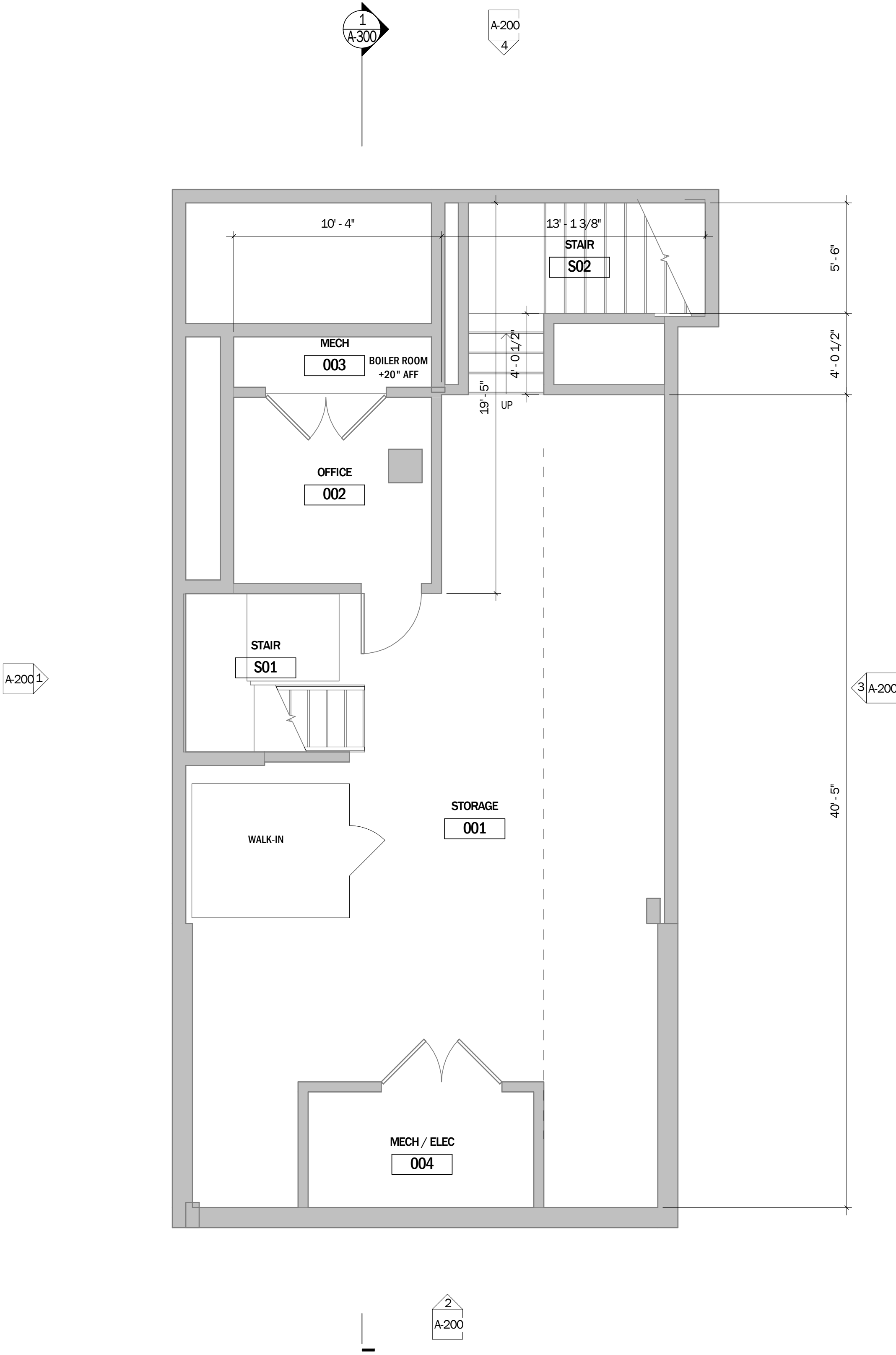
A-010

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2 BASEMENT REFLECTED CEILING PLAN
1/4" = 1'-0"



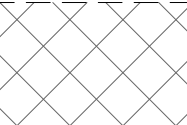
1 BASEMENT - NEW WORK PLAN
1/4" = 1'-0"



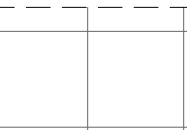
PLAN LEGEND

- REFER TO
- ALL PARTITIONS TO BE

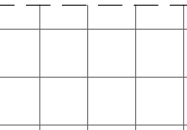
FLOORING LEGEND



FT01 - MOSAIC



FT02 - 24"x24" FIELD TILE



VCT01 - 12"x12" VCT - FOOD GRADE



WD01 - WOOD DECK

LIGHTING FIXTURE TYPES



P1 - PENDANT



R1 - 4" RECESSED CAN



CM1 - CEILING MOUNTED

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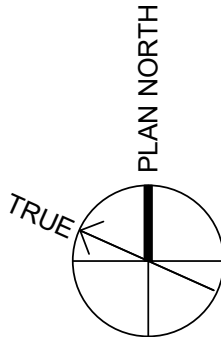
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BASEMENT PLAN & RCP

A-100



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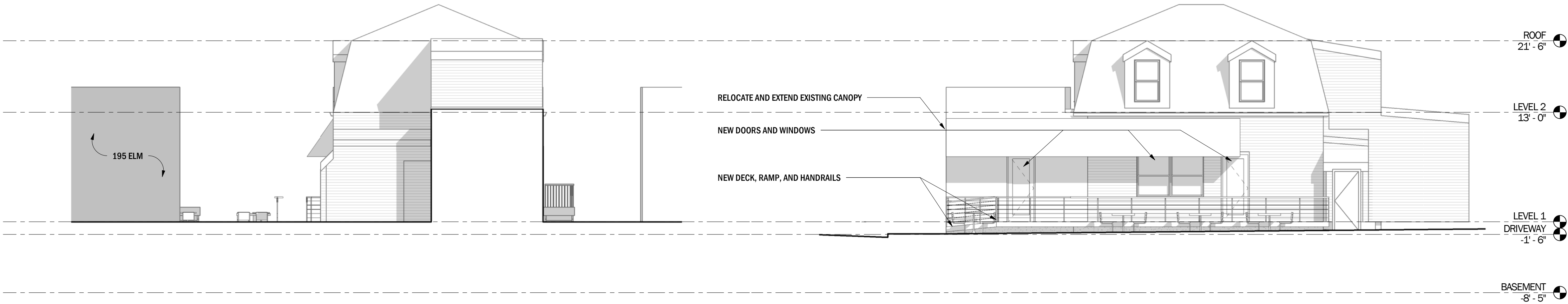
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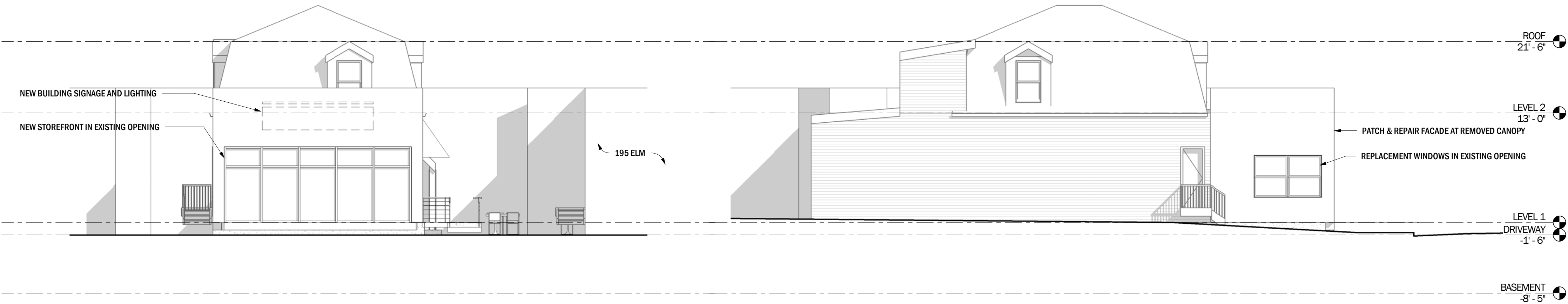
EXTERIOR ELEVATIONS

A-200



4 NORTH ELEVATION
1/8" = 1'-0"

3 EAST ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"

1 WEST ELEVATION
1/8" = 1'-0"

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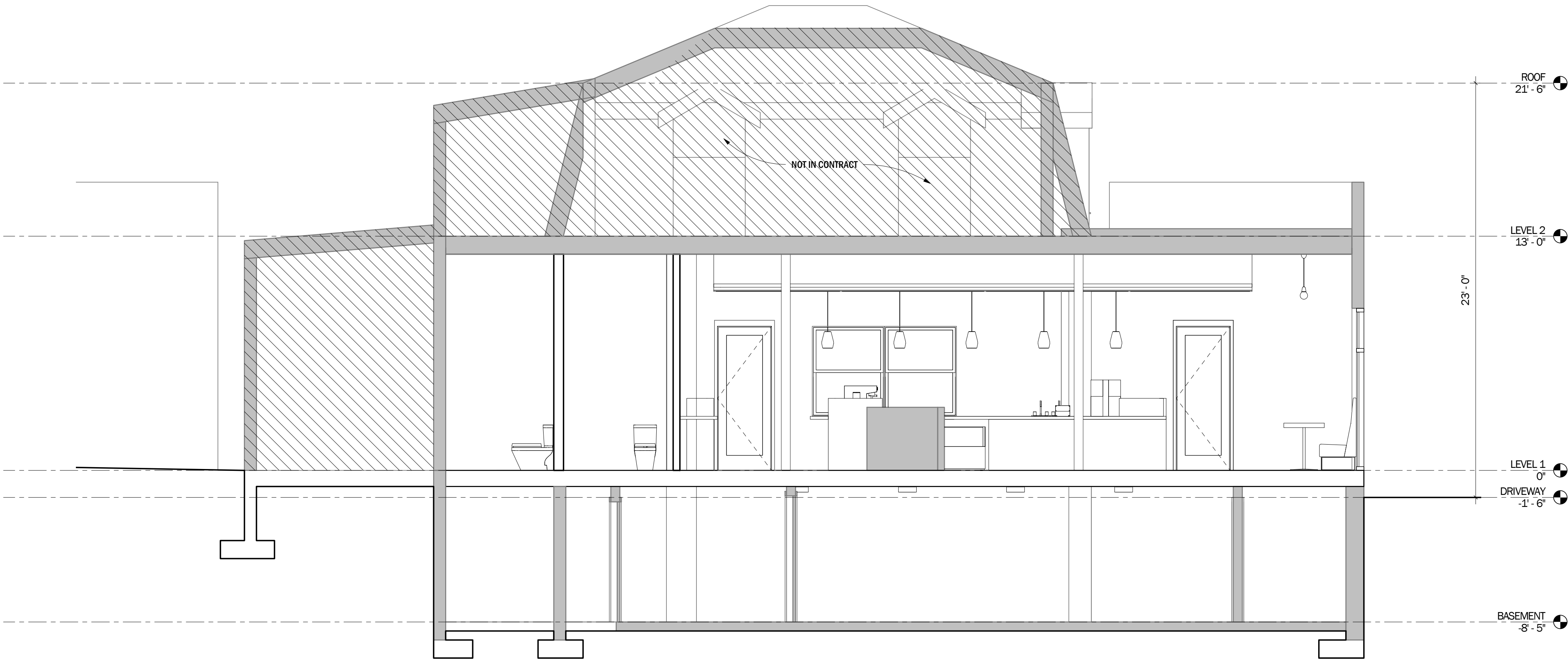
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DATE: NOV 30, 2017

SCALE: 1/4" = 1'-0"

BUILDING SECTIONS

A-300



1 BUILDING SECTION
1/4" = 1'-0"