

# RODE

ARCHITECTS INC

535 Albany Street | 405 Boston, Massachusetts 02118 617.422.0090 | T 617.422.0094 | F rodearchitects.com

STRUCTURAL TLH CONSULTING, LLC 505 Middlesex Turnpike, #14 Billerica, MA 01821 978.362.1804 tlhstructuralconsulting.com

OWNER NOOKIE & SONS 25 Hubbard Ave #2 Cambridge, MA 02140

PERMIT SUBMISSION

## REVIVAL CAFE

197 ELM STREET SOMERVILLE, MA 02144



11/30/2017

Room name  101  150 SF  SIM A101  SIM A101  O	ROOM NAME AND NUMBER  DETAIL / PLAN CALLOUT  DETAIL / PLAN SECTION DETAIL  EXIT SYMBOL	THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE WORK PRIOR TO STARTING CONSTRUCTION. SHALL VERIFY EXISTING CONDITIONS AND DIMENSIONS AND SHAREPORT ANY DISCREPANCIES OR UNIDENTIFIED CONDITIONS TO THE ARCHITECT FRESOLUTION BEFORE BEGINNING WORK.  ANY DAMAGE TO EXISTING CONDITIONS IN THE EXECUTION OF THE WORK IN THIS CONTRACT SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE CONTRACT.
SIM A101 SIM A101	DETAIL / PLAN SECTION DETAIL	ANY DAMAGE TO EXISTING CONDITIONS IN THE EXECUTION OF THE WORK IN THIS CONTRACT SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO
A101	DETAIL / PLAN SECTION DETAIL	
	EXIT SYMBOL	
0		THE PURPOSE OF THESE DRAWINGS IS FOR THE CONTRACTOR TO INCLUDE ALL LABOR, MATERIALS, AND SERVICES REQUIRED FOR THE COMPLETION OF ALL WORSHOWN OR REASONABLY IMPLIED BUT NOT LIMITED TO THAT EXPLICITLY SHOWN
	STRUCTURAL GRID	THE DOCUMENTS.  DO NOT SCALE THE DRAWINGS. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
ITIONING 1 1 A101 1	INTERIOR ELEVATION	DIMENSIONS, DETAILS, NOTES AND SYMBOLS THAT APPLY TO ONE UNIT, APPLY TO ALL UNITS IN LIKE SITUATIONS, U.N.O.
Ref 1 A101 1	EXTERIOR ELEVATION	UNLESS SPECIFICALLY SHOWN OR NOTED ON THE DRAWINGS, NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, BORED OR OTHERWISE MODIFIED WITHOUT T
Ref		PERMISSION OF THE STRUCTURAL ENGINEER OF RECORD.  THE CONTRACTOR SHALL NOTIFY THE BUILDING OWNER FIVE WORKING DAYS PRICTO ANY UTILITY BEING SHUT DOWN FOR CONSTRUCTION WORK.
SIM A101	SECTION	INSTALLATION SHALL FOLLOW THE MANUFACTURER'S PUBLISHED SPECIFICATION: AND/OR TRADE STANDARDS IN ADDITION TO MEETING OR EXCEEDING THE DESIG
MBING 1 SIM	SECTION DETAIL	STANDARDS.  ALL DIMENSIONS ARE TO FACE OF STUD / FACE OF WALL OR CENTERLINE OF
φ ?	EQUIPMENT TAG	COLUMN UNLESS NOTED OTHERWISE.  THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE
	LIGHT FIXTURE TAG	DOCUMENTS PRIOR TO PROCEEDING WITH ANY WORK INVOLVED.  CONTRACTOR SHALL APPLY AND PAY FOR ANY REQUIRED PERMITS FOR WORK
<b>1</b> View Name 1/8" = 1'-0"	VIEW TITLE	PERFORMED.  ALL WORK IS NEW UNLESS OTHERWISE NOTED. REVIEW EXISTING DRAWINGS TO
1/8" = 1'-0"	LEGEND / KEY TITLE	DETERMINE WHAT SELECTIVE DEMOLITION MUST TAKE PLACE IN ORDER TO INSTANCE WORK.
<u>101</u> )	DOOR TAG WALL TAG	"REMOVE" MEANS TO REMOVE AND DISPOSE OF IN A LEGALLY APPROPRIATE DUMPSITE OR TO RECYCLE AT AN APPROPRIATE FACILITY.
	EXISTING TO REMAIN	"REPLACE" MEANS TO REMOVE EXISTING AND INSTALL NEW.  "FURNISH" MEANS TO PROVIDE NEW MATERIALS.
		INFORMATION MAY NOT BE SHOWN IN TRADITIONAL LOCATIONS WITHIN THE DOCUMENTS. REVIEW ALL DOCUMENTS TO DETERMINE COMPLETE SCOPE OF
		WORK.  CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL NEW REQUIRED SCOPE.
	TIIONING  Ref  A101  Ref  SIM  A101  SIM  A101  The state of the state	ITIONING  Ref  Alol 1  Ref  SIM  Alol 1  Ref  SIM  SECTION  SECTION  BEQUIPMENT TAG  KEYNOTE TAG  LIGHT FIXTURE TAG  LIGHT FIXTURE TAG  View Name  1/8" = 1'-0"  View Name  1/8" = 1'-0"  LEGEND / KEY TITLE  View Name  1/8" = 1'-0"  LEGEND / KEY TITLE  MALL TAG  WALL TAG

### **DRAWING LIST**

###	NAME	ISSUANCE	
GENER/	AL .		
G-001	GENERAL NOTES	11/30/2017	
G-002	ZONING & BUILDING CODE ANALYSIS	11/30/2017	
ARCHITECTURAL			
A-010	SITE PLAN	11/30/2017	
A-100	BASEMENT PLAN & RCP	11/30/2017	
A-101	LEVEL 1 PLAN & RCP	11/30/2017	
A-200	EXTERIOR ELEVATIONS	11/30/2017	
A-300	BUILDING SECTIONS	11/30/2017	

#### PERMIT SUBMISSION

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#### Design Team

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### **REVIVAL CAFE** 197 ELM STREET SOMERVILLE, MA 02144

NOOKIE & SONS 25 Hubbard Ave #2 Cambridge, MA 02140

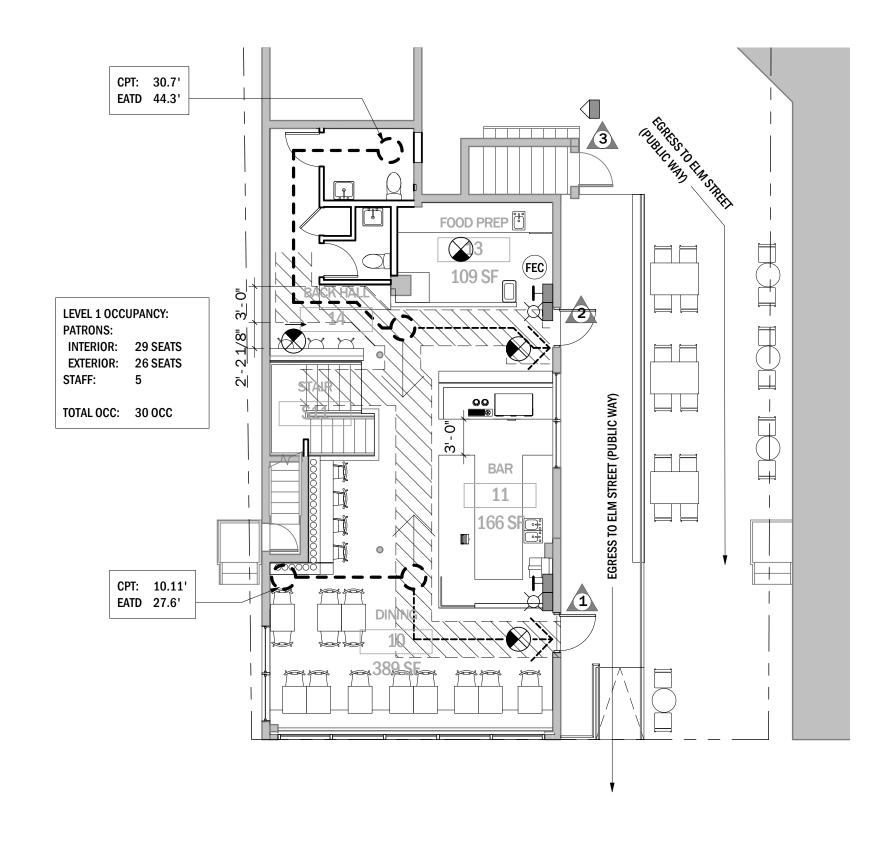
PROJECT: 1629

No.	Description	Date
DATE:	NOV 30, 2017	

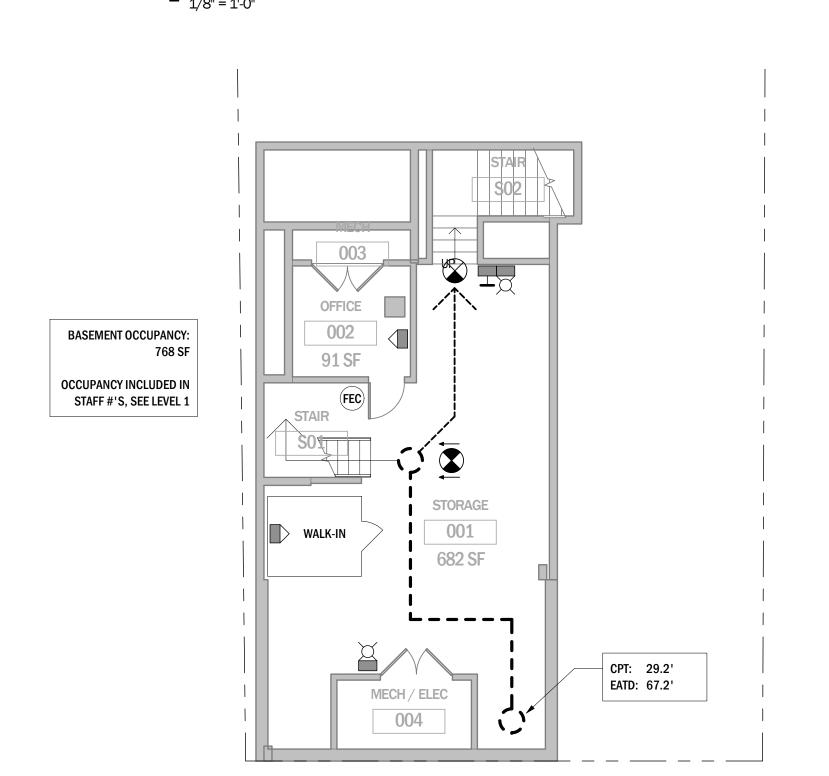
SCALE: As indicated

GENERAL NOTES

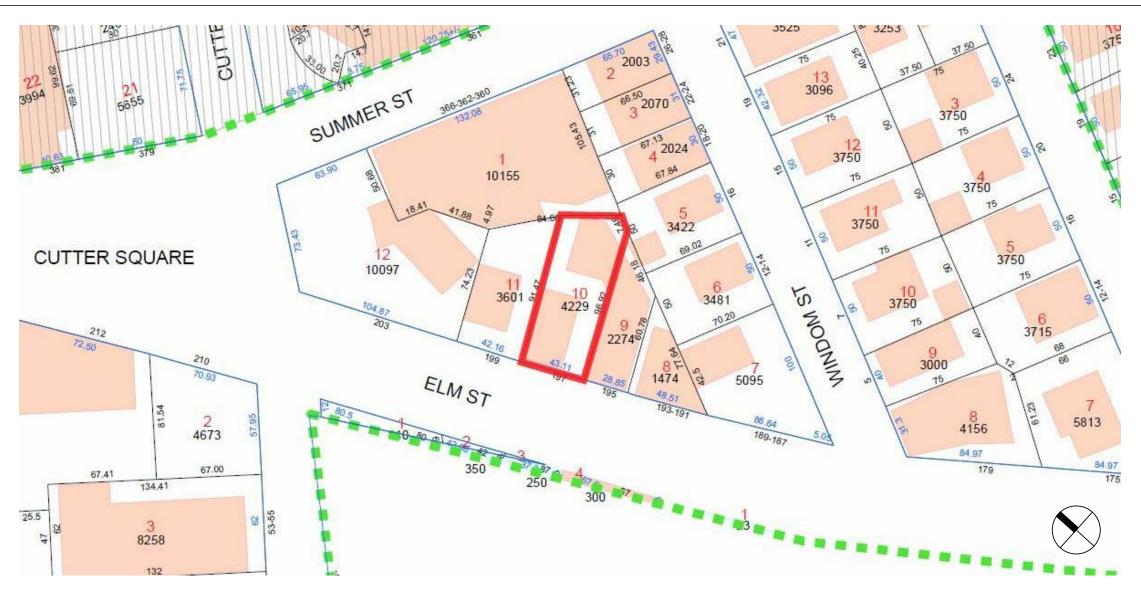
G-001



**ELM STREET** 2 LIFE SAFETY LEVEL 1 1/8" = 1'-0"



1 LIFE SAFETY BASEMENT 1/8" = 1'-0"



#### EGRESS CALCULATIONS & OCCUPANCY LOADS

	OCCUPANCY	## OCCUPANTS
RESTAURANT	STAFF	5
	PATRONS	29
	TOTAL INTERIOR	34 OCC
EXTERIOR SEAT	ΓING	26
RESTAURANT T	OTAL	60 OCC

### **EGRESS COMPONENTS EXIT CAPACITY**

BUILDING EXITS					
	EXIT 1 EXIT 2 EXIT 3	SIZE 36" DOOR 36" DOOR 36" DOOR	CAPACITY 170 170 170	OCC SERVED 20 12 2	
	EGRESS CO	<u>OMPONENTS</u>			
	STAIR 01 STAIR 02	SIZE 44" STAIR 34" DOOR 44" STAIR	CAPACITY 146 170 146	OCC SERVED 3 2 2	

## **RESTROOM FIXTURE CALCULATIONS**

PROPOSED OCCUPANCY	# OCC	248 CN	MR CLASSIFICATION	
RESTAURANT	60	A-2		
FIXTURE CALCULATIONS				
REQ'D PER 248 CMR:	# TOILET	S	# SINKS	
MEN	@1:60	= 0.5	@ 1:200 = 0.15	
WOMEN	@1:30	= 1 .0	@ 1:200 = 0.15	
PROVIDED:	# TOIL	ETS	# SINKS	
MEN	1*		1	
WOMEN	1*		1	

\* EACH OF TWO UNISEX RESTROOMS ATTRIBUTED ONCE TO "PROVIDED" FIXTURE \*\* ONE ACCESSIBLE RESTROOM IS ACCEPTABLE PER A PRELIMINARY DISCUSSION WITH THE PLUMBING INSPECTOR

#### FIRE ALARM GENERAL REQUIREMENTS

#### THE FOLLOWING FIRE PROTECTION SYSTEMS ARE CURRENTLY PROVIDED:

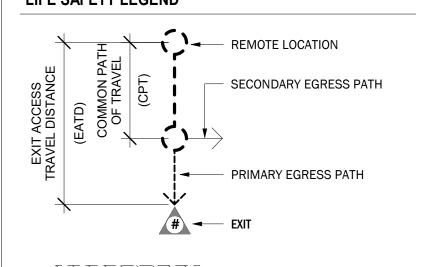
1. AUTOMATIC SPRINKLER SYSTEM 2. FIRE ALARM SYSTEM

3. FIRE EXTINGUISHERS - ALL ALARM NOTIFICATION COMPONENTS TO BE CONNECTED TO INDICATOR AND TAMPER SWITCHES.

- ALL ALARM AND NOTIFICATION SYSTEM DRAWINGS TO BE DESIGN BUILD AND SUBMITTED VIA SEPARATE PERMIT.

LOCATIONS SHOWN ONLY FOR INFORMATION.

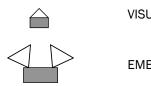
#### LIFE SAFETY LEGEND

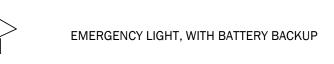






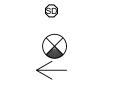






HEAT / SMOKE / CO2 ALARMS PER 907.2.8.3

MEANS OF EGRESS LIGHTING PER 1006.00



## FIRE EXTINGUISHER

#### **BUILDING CODE SUMMARY**

PROJECT ADDRESS: 197 ELM STREET

SOMERVILLE, MA 02144

#### DESCRIPTION: THE PROJECT IS COMPRISED OF THE INTERIOR RENOVATION OF THE EXISTING RETAIL / RESTAURANT TENANT SPACE ON THE FIRST LEVEL (GRADE) + BASEMENT LEVEL, FOR USE BY A NEW RESTAURANT TENANT. THE EXISTING RESIDENTIAL UNIT ON THE SECOND LEVEL

WILL REMAIN, AND IS NOT PART OF THIS PROJECT SCOPE.

USING THE WORK AREA METHOD FOR RENOVATIONS TO EXISTING

APPLICABLE CODES:

780 CMR - MA BUILDING CODE, 8TH ED. (2009 IBC, AMENDED; 2009 IEBC, AMENDED)

BUILDINGS (IEBC), THIS IS A "LEVEL 3" PROJECT.

2009 IECC ENERGY CODE 2009 INTERNATIONAL MECHANICAL CODE 248 CMR - MA UNIFORM PLUMBING CODE 527 CMR - MA FIRE PREVENTION REGULATIONS 521 CMR - MA ARCHITECTURAL ACCESS BOARD (MAAB) AND THE

EXISTING: B A-2 RESTAURANT W/ < 50 OCC

PROPOSED: B A-2 RESTAURANT W/ < 50 OCC

AMERICANS WITH DISABILITIES ACT GUIDELINES

**CONSTRUCTION TYPE** 

EXISTING: 5B PROPOSED: 5B (NO CHANGE)

**HEIGHT & AREA** 

EXISTING: 2 STORIES, APPROX. 23' PROPOSED: NO CHANGE

#### **BUILDING GSF**

BOILD			
L	EVEL	AREA (GSF)	USE
BASEN	<b>JENT</b>	1061 SF	RESTAURANT STORAGE
LEVEL	.1	1210 SF	RESTAURANT
LEVEL	2	814 SF	RESIDENTIAL
TOTAL	. GSF	3084 SF	

#### MEANS OF EGRESS

NUMBER OF	EXITS:	
	<b>REQUIRED</b>	<b>PROVIDED</b>
BASEMENT	1 EXITS	2 EXITS
LEVEL 1	2 EXITS	2 EXITS

EXIT ACCESS TRAVEL DISTANCE (EATD): **PROVIDED** <u>MAXIMUM</u> 250' 106.8'

COMMON PATH OF TRAVEL (CPT): <u>MAXIMUM</u> 30' 28.9'



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STRUCTURAL

#### **REVIVAL CAFE** 197 ELM STREET

SOMERVILLE, MA 02144

NOOKIE & SONS

25 Hubbard Ave #2 Cambridge, MA 02140

PROJECT: 1629

Description

DATE: NOV 30, 2017

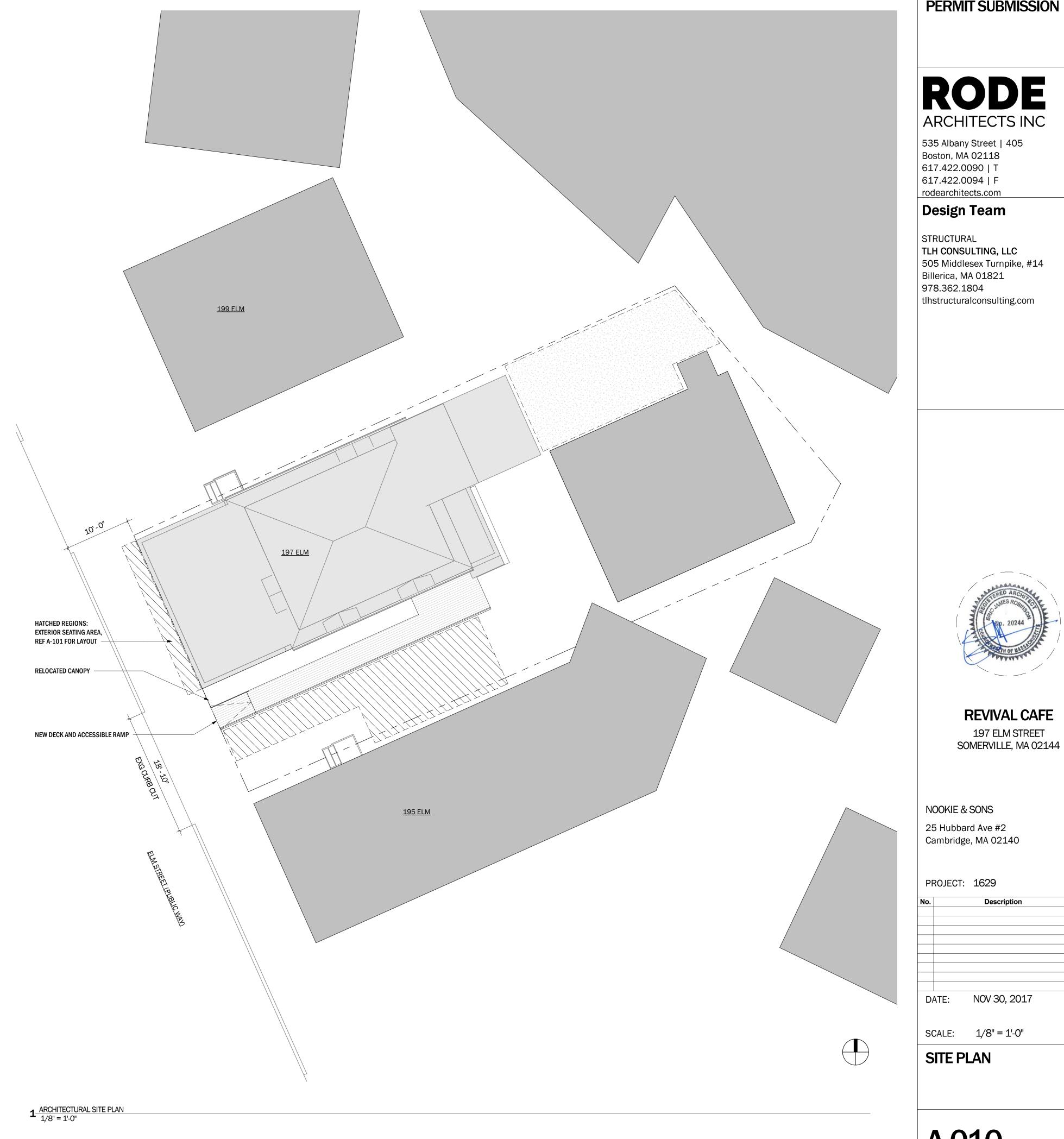
SCALE: 1/8" = 1'-0"

**ZONING & BUILDING CODE ANALYSIS** 

G-002

#### 197 ELM STREET - NEIGHBORHOOD BUSINESS (NB) DISTRICT **USE REGULATIONS** SPECIAL PERMIT RESTAURANT WITH OUTDOOR OPERATIONS (SECTION 7.11 - USE 10.1.2.a) DIMENSIONAL REGULATIONS LOT SIZE **BUILDING MASSING** SETBACKS (ft) Landscaped FAR HEIGHT (stories / ft) FRONT REAR **PARKING** LOADING Area (sf) Coverage (%) Frontage (ft) Restaurant: ZONING 875 SF / UNIT Rest. < 4,000SF: 0 bays 1 / 110 GSF \_\_\_\_\_ 2.25' Req'd = 21 SPACES Existing = approx 4090 sf approx 55 % (no change: (2273 GSF Restaurant) 1.3 3 / 23 Proposed = no change (5,232 GSF) Prop'd = 0 SPACES (no change) conforming) L-----

FOOTNOTES (1) Foot note 1 (2) Rear Yard for Lots abutting Residential District (section 8.6 footnote 12) DASHED BOX INDICATES SPECIAL PERMIT LIKELY REQUIRED



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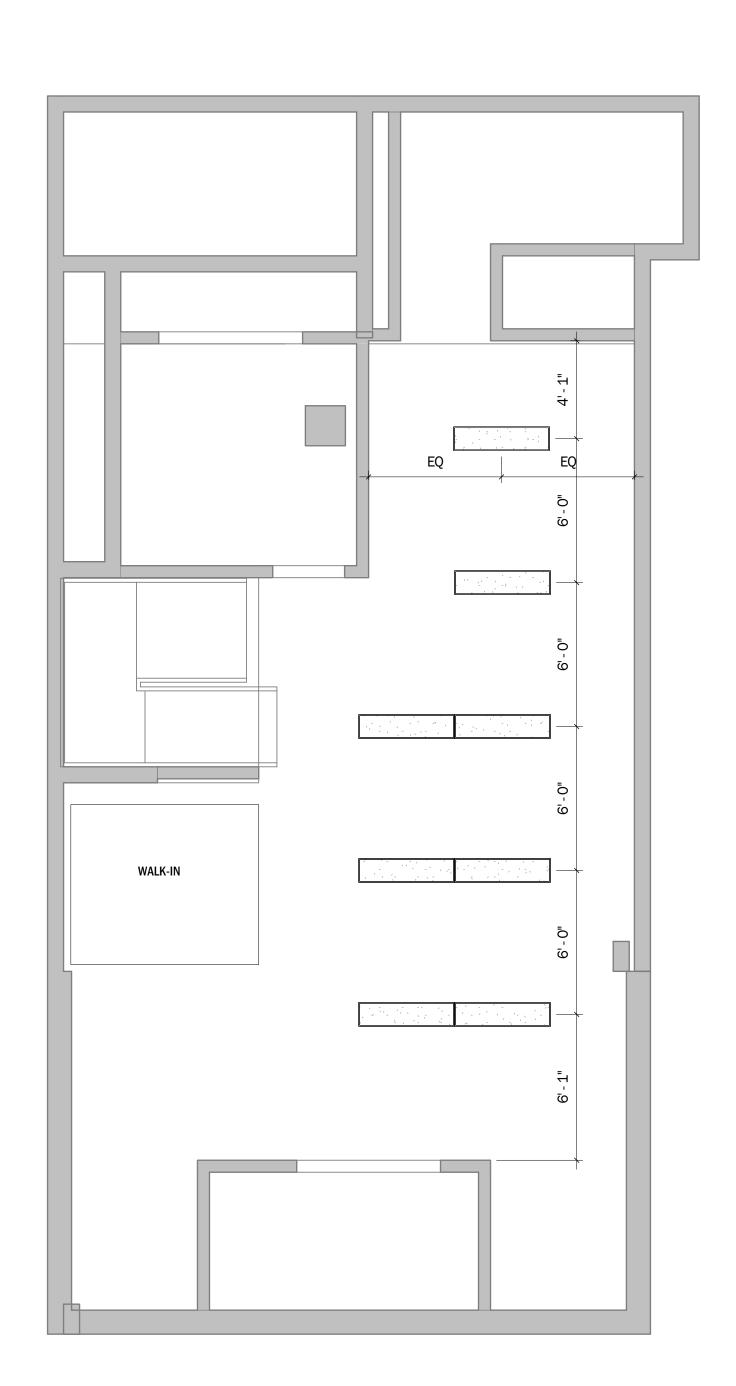
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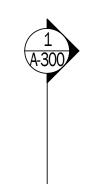
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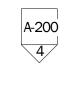
No.	Description	Date
DATF.	NOV 30. 2017	

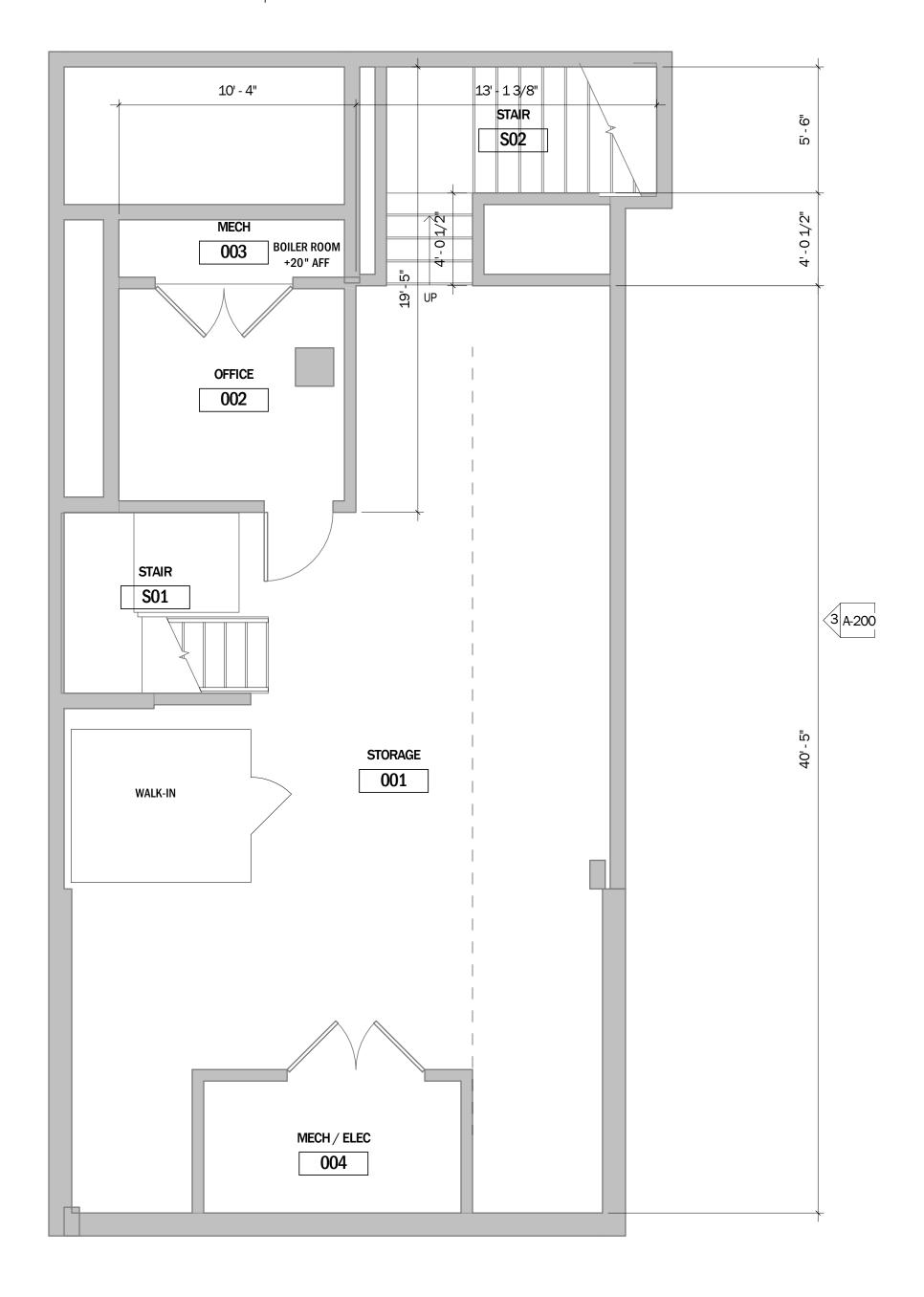
DATE: NOV 30, 2017

A-010









A-200

**PLAN LEGEND** 

REFER TOALL PARTITIONS TO BE

FLOORING LEGEND
FT01 - MO

FT02 - 24"x24" FIELD TILE

WD01 - W00D DECK

STRUCTURAL

Design Team

VCT01 - 12"x12" VCT - F00D GRADE

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LIGHTING FIXTURE TYPES

R1 - 4" RECESSED CAN

P1 - PENDANT

CM1 - CEILING MOUNTED

SERED ARCHITECTURE OF WILLIAM CO. 20244

REVIVAL CAFE
197 ELM STREET

SOMERVILLE, MA 02144

NOOKIE & SONS 25 Hubbard Ave #2

Cambridge, MA 02140

DD0.IE0T (

PROJECT: 1629

No. Description Date

DATE: NOV 30, 2017

SCALE: 1/4" = 1'-0"

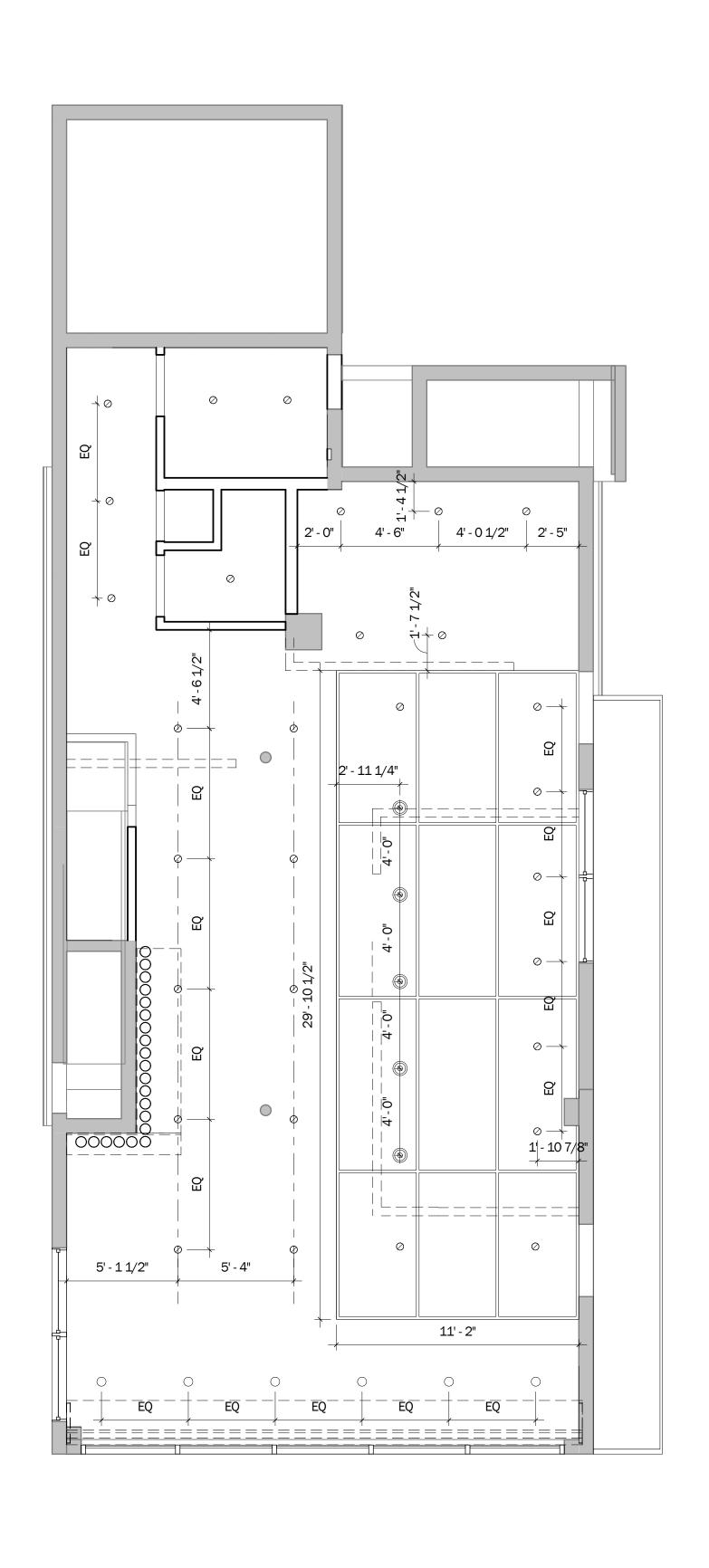
BASEMENT PLAN & RCP

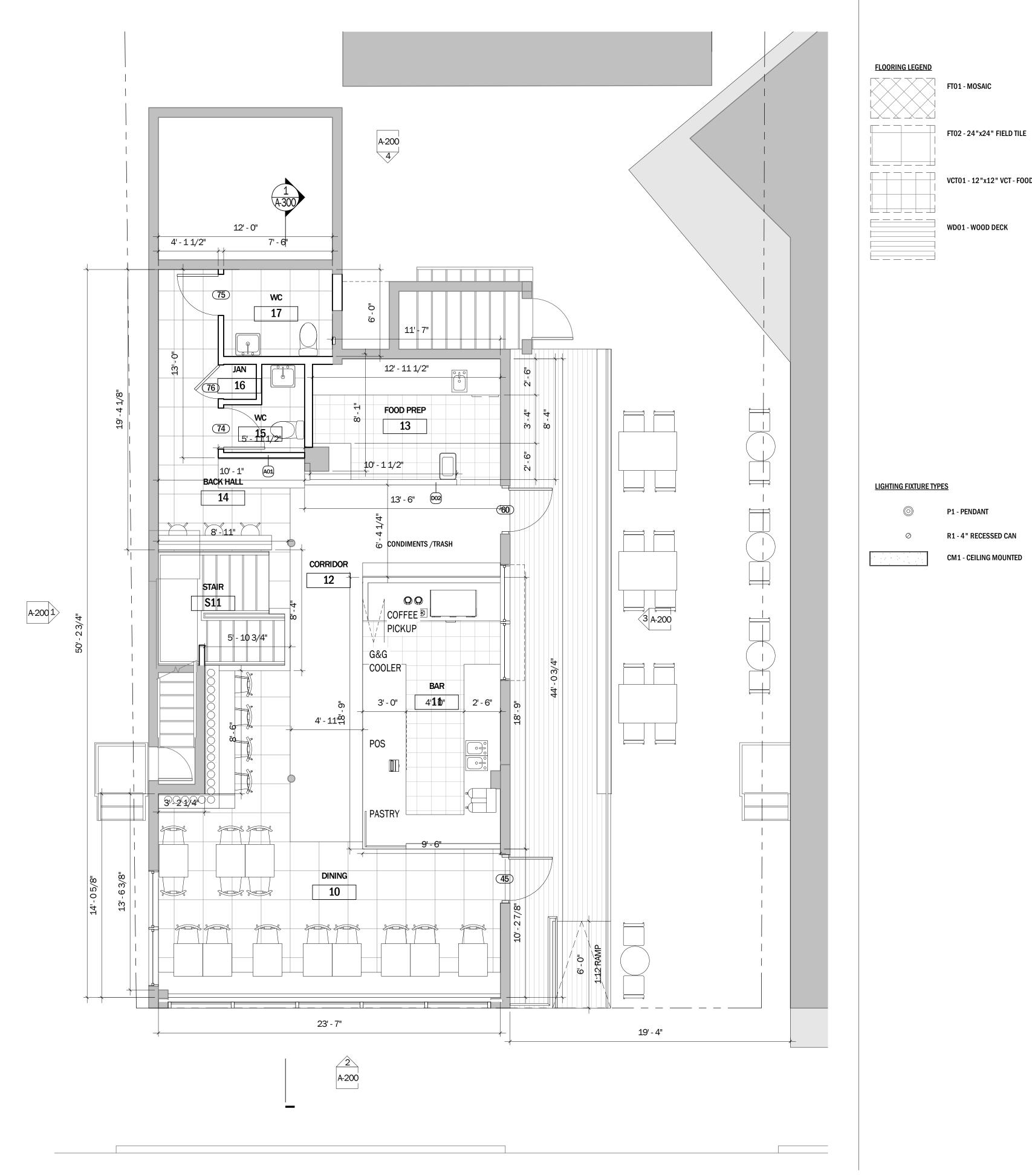
A-100

2 BASEMENT REFLECTED CEILING PLAN 1/4" = 1'-0"

1 BASEMENT - NEW WORK PLAN 1/4" = 1'-0"

A-200 1





### **PLAN LEGEND**

REFER TO ALL PARTITIONS TO BE

FLOORING LEGEND FT01 - MOSAIC

WD01 - W00D DECK

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**Design Team** 

STRUCTURAL VCT01 - 12 "x12" VCT - F00D GRADE TLH CONSULTING, LLC 505 Middlesex Turnpike, #14 Billerica, MA 01821

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ARCHITECTS INC

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LIGHTING FIXTURE TYPES

P1 - PENDANT

R1 - 4" RECESSED CAN

CM1 - CEILING MOUNTED



**REVIVAL CAFE** 197 ELM STREET SOMERVILLE, MA 02144

NOOKIE & SONS

25 Hubbard Ave #2 Cambridge, MA 02140

PROJECT: 1629

Description

NOV 30, 2017

SCALE: 1/4'' = 1'-0''

LEVEL 1 PLAN & RCP

A-101

2 LEVEL 1 REFLECTED CEILING PLAN 1/4" = 1'-0"

1 LEVEL 1 - NEW WORK PLAN 1/4" = 1'-0"

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25 Hubbard Ave #2
Cambridge, MA 02140

PROJECT: 1629

No.	Description	Dat
DATE	NOV 20, 2017	1

ATE: NOV 30, 2017

SCALE: 1/8" = 1'-0"

**EXTERIOR ELEVATIONS** 

A-200

**1** BUILDING SECTION 1/4" = 1'-0"

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PROJECT: 1629

No.	Description	Date
DATE	NOV 20, 2017	·

DATE: NOV 30, 2017

SCALE: 1/4" = 1'-0"

**BUILDING SECTIONS** 

A-300